

## STATEMENT OF HERITAGE IMPACT



### No. 26 Second Street, Ashbury

May 2022

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## 1.0 Introduction

This report has been prepared on behalf of the property owners to assess the potential heritage impacts and to accompany the Development Application for the proposed alterations and additions to No. 26 Second Street, Ashbury (the site).

## 2.0 Background & heritage listing status

The site is located on the southern side of Second Street, in the block between Holden Street to the east and Andrews Avenue to the west. Second Street is a wide, two-way street with grassed verges, street trees and car parking each side. The built context in this section of the street largely comprises of one and two storey detached dwellings. The dwellings on the southern side of the street also extend back and have access from a rear lane.

No. 26 Second Street is a single storey, face brick Inter-war period dwelling with gabled and hipped main roof clad in terracotta tiles and a hipped and skillion roof clad in corrugated steel. The dwelling is setback from the street frontage. The building is constructed close to the western side boundary and has a setback with paving and garden beds along the eastern side. A lightweight garage and secure carport with gabled and a flat roof clad in corrugated FC and metal sheeting are constructed to the rear boundary.

The dwelling has previously undergone some internal modifications, alterations and additions. It is currently proposed to retain the existing dwelling on the site and undertake alterations and additions including the addition of an upper level over the rear of the house also a swimming pool and new double garage and landscaping to the rear lane.

No. 26 Second Street has not been listed on the State Heritage Register or classified by the National Trust of Australia (NSW). The site has not been listed as a local heritage item under Schedule 5 of the Canterbury Local Environmental Plan (LEP) 2012, however, is located in the Ashbury Heritage Conservation Area (C1). There are a number of items in the street (Nos. 5-15), which are located to the north east and distanced from the site.

As such, Canterbury Bankstown Council must take into consideration the potential impacts of any proposed works on the character and significance of the conservation area, Second Street streetscape, rear lane and overall setting. The proposed works have been amended following pre-DA advice.

This assessment is based on inspection of the site and review of the context. The report follows a standard format, in accordance with the guidelines provided by Heritage NSW and includes site specific information, description of the existing building and its contribution to the area. The proposed works have been assessed with reference to Canterbury LEP 2012, DCP and standard criteria. The purpose of the report is to outline how any potential heritage impacts may be reduced or are mitigated.

## 3.0 Historical overview

Prior to European occupation the area was occupied by the Darug and Eora people.<sup>1</sup>

The site was part of 260 acres originally granted to Richard Johnson in October 1799. The Reverend Richard Johnson was the colony's first chaplain.

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<sup>1</sup> Canterbury Bankstown Council website.

It is not clear if Johnson used the land in any way, however, in 1848 the 260 acres were transferred to members of the Campbell family, Arthur Jeffreys and James Norton.<sup>2</sup>

Robert Campbell had settled in Sydney in 1798 and established Australia's first commercial trading business (Campbell & Co) on the western shores of Sydney Cove. He purchased a number of early grants in the Canterbury area from 1803 and also received other grants on this basis. Campbell did not live on his estate which he named "Canterbury Farm", but used it to graze his stock (cattle, sheep and some horses). In 1846, the Canterbury Estate was inherited by his eldest daughter, Sophia Ives Campbell and Arthur Jeffreys, the husband of his youngest daughter Sarah.<sup>3</sup>

In 1873 the site was part of 255 acres transferred to Arthur Frederick Jeffreys, who resided in London. Land title documents indicate that the land was occupied by tenants.<sup>4</sup> In 1906 just over 181 acres were transferred to Arthur Frederick Jeffreys' widow and later George Darell Jeffreys. Parts continued to be leased and sold. The site was part of just over 49 acres (**Figure 3.1**) that were subdivided in 1914 and sold by George Darell Jeffreys from this time.<sup>5</sup>

The Wattle Hill Estate subdivision comprised of regular residential allotments located north of Canterbury Park between King and Holden Streets. The lots addressed these and First, Second, Third, Fourth and Fifth Streets. The subject site is part of Lot 32 of Section B of the subdivision (**Figure 3.2**) that with lots 28, 29, 30 and 31 were transferred to Henry William Robert Newman, a plasterer from Dulwich Hill, in June 1916.<sup>6</sup>

The lots each had 50 feet frontage to Second Street and extended back 130 feet. Newman began to sell "parts" from July 1916. The subject site, with 25 feet frontage to Second Street, (**Figure 3.3**) was transferred to Doris Kathleen Baker, wife of Frederick Charles Baker of South Ashfield, in October 1917.<sup>7</sup>

The lots in the subdivision were subject to a building covenant. It is assumed that No. 26 was constructed on the site, possibly by Newman, from this time between 1917 and 1920.

Second Street is first listed in the *Sands Directory* in 1916 when there are no listings in the street. In 1917 there are six listings. No street numbers, Newman or Baker are listed. The *Sands* indicates some building activity occurred in the street during this period. In 1918 there are three listings on the northern side and thirteen listings on the southern side of the street between Holden and King Street.

Ownership of site was transferred to Lillah Lumsden, wife of Stanley Oswald Lumsden of Summer Hill, in April 1918. No Lumsden is listed in the street in the *Sands*. It is assumed that the house, if constructed, was leased and continued to be leased for some time. In September 1920 the site was transferred to the War Service Homes Commissioner and in August 1934 was transferred from the Director of War Service Homes to the Public Trustee.<sup>8</sup>

In August 1954, ownership of the site was transferred to Cyril James Farrell, a Mail Officer of Ashbury.<sup>9</sup> The *Sands Directory* lists C Farrell and later a CT Farrell on the southern side of Second Street from 1921. In 1925 Farrell is listed occupying "Grant Leigh" and at No. 26 when street numbering was introduced.

<sup>2</sup> NSW Land Registry Services, DP 11261 & Primary Application No. 4533.

<sup>3</sup> NSW Land Registry Services, Primary Application No. 3100, Paul Davies Pty Ltd, *Stage 1 Report, Hurlstone Park Heritage Assessment Study* (Sept 2016), p. 13 & 17.

<sup>4</sup> NSW Land Registry Services, Primary Application No. 4533.

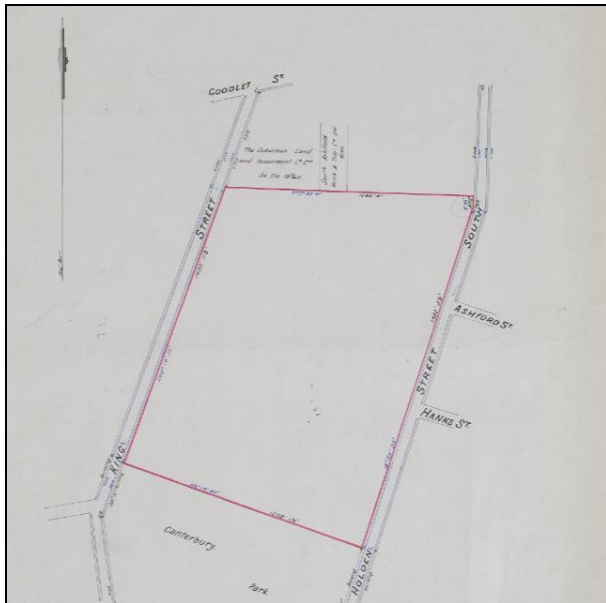
<sup>5</sup> NSW Land Registry Services, Certificates of Title, Volume 382 Folio 137, Volume 1035 Folio 241, Volume 1053 Folio 57, Volume 2504 Folio 237 & DP 8054.

<sup>6</sup> NSW Land Registry Services, Certificates of Title, Volume 2504 Folio 237, Volume 2681 Folio 202.

<sup>7</sup> NSW Land Registry Services, Certificates of Title, Volume 2681 Folio 202 & Volume 2804 Folio 199.

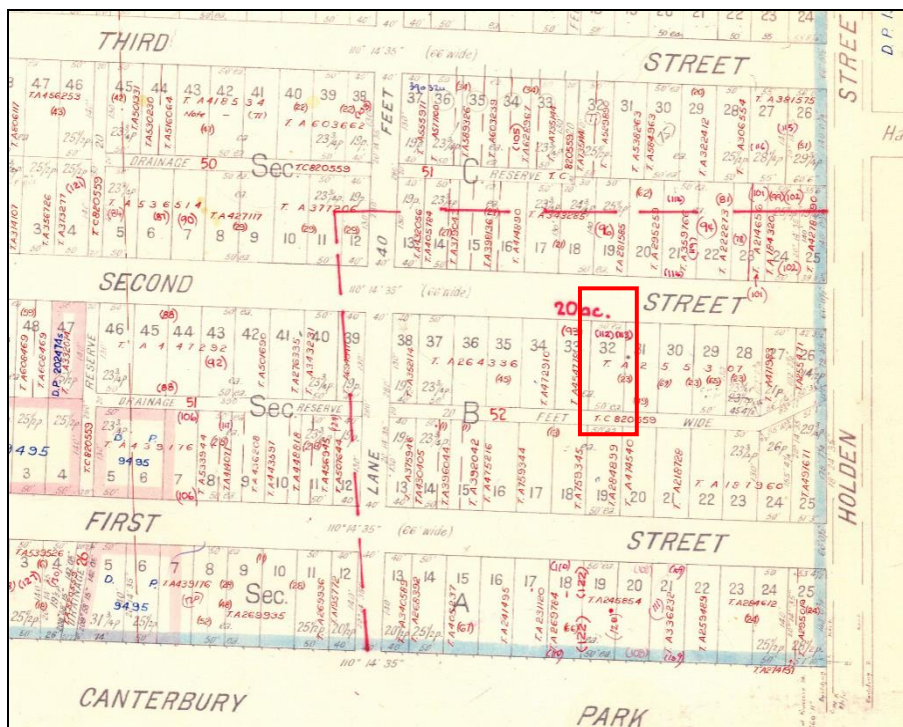
<sup>8</sup> NSW Land Registry Services, Certificate of Title, Volume 2804 Folio 199.

<sup>9</sup> NSW Land Registry Services, Certificate of Title, Volume 2804 Folio 199.



**Figure 3.1** The land transferred to George Darell Jeffreys and subdivided as the Wattle Hill Estate in 1914.

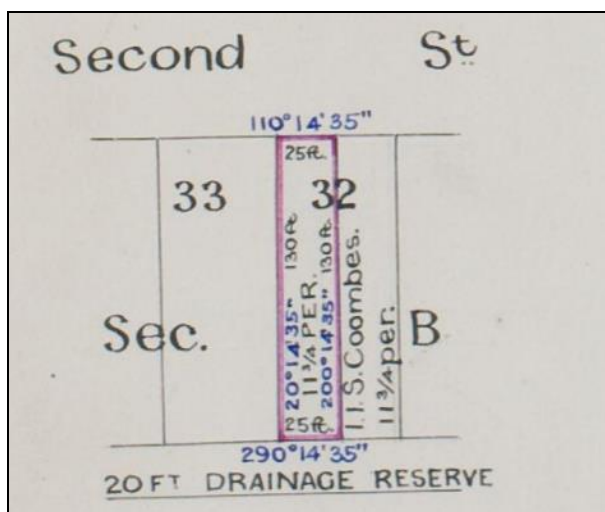
(NSW Land Registry Services, CT Volume 2504 Folio 3237)



**Figure 3.2** Part of the 1914 Wattle Hill Estate subdivision – Hurlstone Park.

The subject site is part of Lot 32 of Section B.

(NSW Land Registry Services, DP 8054)



**Figure 3.3** The site which has 25 feet frontage to Second Street and extends bay to a “20 feet Drainage Reserve”.

(NSW Land Registry Services, CT Volume 2904 Folio 199)



The 1943 aerial photograph (**Figure 3.4**) shows what is assumed to be the early form of the house and siting. The main gabled and hipped roof form is evident with a secondary rear hipped and skillion roof over the rear half of the dwelling. No chimneys are visible. The building is setback from the street frontage and is aligned with the neighbouring dwellings, particularly those to the east which have similar form and details.

A path extends parallel to the front, north western side boundary to the front of the house. Another path is also clear extending along the eastern side boundary. A shadow indicates a fence across the street frontage. Paths and a sealed area are also visible in the yard which appears to have some low planting, but no buildings and a fence across rear lane boundary which is noted as a “drainage reserve” on the land title.



**Figure 3.4** 1943 aerial showing the site and context.

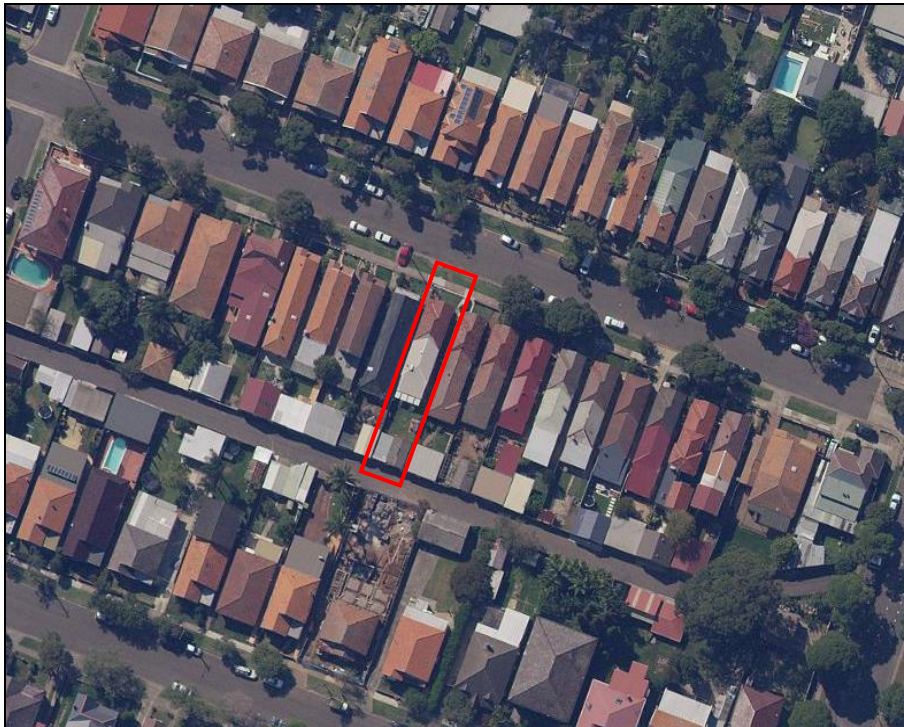
(SIX Maps)



The aerial also shows the built context and that most of the surrounding lots had been developed by this time. The lots each side of the site and to the north east, along the north eastern end of Second Street appear to have been re-subdivided and are occupied by similarly narrow detached dwellings. One wider dwelling is located at the eastern end of the street with what appear to be corner shops and dwellings. Some double fronted dwellings are also located to the west and north west of the site.

It would appear that ownership of the site was retained by the Farrells until at least 1981 when Phyllis Mary Farrell is recorded as the registered proprietor. Ownership has been transferred again in May 2009 and February 2021.<sup>10</sup>

A relatively recent aerial (**Figure 3.5**) shows that some alterations and additions have been undertaken to the rear of the dwelling since 1943, probably in the late 20<sup>th</sup> century. The main roof form including front gable remain clear. However, the rear appears to have been extended and a raised skylight and rear awning are also visible. Paths remain in the front setback and some paving and open lawn is visible in the rear yard. A gabled roofed structure appears to have been constructed to the rear lane with what may be a later skillion roofed element (carport). The aerial also shows a number of changes to the surrounding dwellings and area.



**Figure 3.5** Recent aerial indicating changes to the rear of the building and site and similar alterations and additions to the surrounding built context.

(SIX Maps)

## 4.0 The site context

The subject site is located on the southern side of Second Street in the block between Andrew Avenue and Holden Street. Second Street is a relatively wide, two-way street with grassed verges, car parking, street trees and plantings along both sides.

The built context in this section of the street comprises of one and two storey predominantly detached dwellings generally dating from the early 20<sup>th</sup> century with some later, 20<sup>th</sup> century replacement dwellings also present. Most of the early dwellings in this section of the street have undergone some visible modifications, alterations and additions including renewal of building facades and roofs, replacement of fabric and fences and addition of upper levels.

<sup>10</sup> NSW Land Registry Services, Certificate of Title, Volume 2804 Folio 199 & realestate.com.au.

To the east of the site, No. 24 Second Street, is a single storey, face brick Inter-war period dwelling with gabled and hipped main roof clad in terracotta tiles. The front façade has an open front verandah, timber and rendered details similar to the subject building. Some modifications have been undertaken to the front openings. The building is constructed to the shared boundary with the subject site and has matching setback from the street frontage.

Nos. 16 to 22 Second Street all have similar forms with terracotta tiles and slate roof cladding and similar setbacks. However, some modifications have also been undertaken to the front verandah details and the properties each have differing front fence treatments.

Further east, No. 14 has been modified and has a face brick infill with new hipped roof clad in unglazed terracotta tiles. Nos. 12, 10 and 8 retain similar form and details to the subject site, however, the front fence and verandah details have also been modified and altered. Nos. 8 and 10 also have upper storey additions with gabled and hipped roofs setback from the street, over the rear of the dwellings. A wider, double fronted face brick and rendered Inter-war period dwelling with an attached gabled roofed garage and a modified painted brick dwelling (Nos. 6 and 2-4 Second Street) remain at the eastern end of the southern side of the street.

To the immediate west of the site, No. 28 Second Street is a single storey, face brick, modified or late 20<sup>th</sup> century replacement dwelling with gabled roof clad in concrete tiles. The narrow building is setback and aligns with the dwellings along the southern side of the street and has a narrow front verandah with separate skillion roof supported on modern timber posts and a brick balustrade. The building is setback from the shared boundary with the subject site. A high brick wall and gate extends to the subject building which is constructed to the shared boundary.

Further west, Nos. 30, 32 and 34 Second Street are one and two storey Inter-war period dwellings that retain matching face brick and rendered details and gabled roof forms clad in terracotta tiles at the front of the dwellings. No. 30 has been modified and has a lightweight first floor addition with gabled roof clad in terracotta tiles. Works, including the addition of an upper storey, are in progress at No. 32.

Opposite the site, on the northern side of the street, there are also similar groups of Inter-war period dwellings. To the north west, No. 29 retains face brick and rendered details, however, has also undergone some alterations and additions including the addition of an upper storey. To the north east are a group that have been listed as items. These retain their overall form and period fabric and details and are neighboured by a late 20<sup>th</sup> century, single storey face brick semi that appears to have replaced the early corner shop and residence.

The site and neighbouring properties along the southern side of the street also have rear lane access. The rear lane is a relatively narrow, sealed service way that is characterised by high masonry and lightweight fences, walls and garages with gates, garage doors and roller shutters.



**Figure 4.1** The site is located on the southern side of Second Street which is a wide, two-way street with grassed verges, car parking, street trees and plantings along both sides.





**Figure 4.2** The built context in this section of the street is characterised by one and two storey dwellings that largely date from the early decades of the 20<sup>th</sup> century.



**Figure 4.3** To the immediate east of the site, No. 24 is a single storey Inter-war period dwelling that retains matching details to the subject building. No. 24 is constructed to the shared boundary and also has a setback from the front and eastern side.



**Figure 4.4** Further east, the narrow dwellings also retain early fabric and similar details and elements, however, have also undergone some visible modifications.



**Figure 4.5** Nos. 8 and 10 retain the setbacks and early form and details at the front of the buildings, however, have upper storey additions.



**Figure 4.6** No. 10 Second Street.



**Figure 4.7** No. 8 Second Street. A lightweight upper level has been added over the rear of the dwelling.



**Figure 4.8** To the immediate west, No. 28 Second Street is a modified or late 20<sup>th</sup> century replacement brick dwelling.



**Figure 4.9** Nos. 28, 30 and 32 Second Street. Nos. 30 and 32 retains early fabric and details at the front of the dwelling, however, have also undergone some visible modifications. An upper level has been added to No. 30.





**Figure 4.10** Further west of the site, Nos. 32, 34 and 36 Second Street. Works, including the addition of an upper storey, are in progress at No. 34.



**Figure 4.11** Opposite the site, the northern side of the street also retains narrow and double fronted Inter-war period dwellings.



**Figure 4.12** Directly opposite, Nos. 25 and 27 Second Street.



**Figure 4.13** Nos. 27 and 29 Second Street which have undergone some alterations and additions including the addition of an upper storey at No. 29.



**Figure 4.14** The site and neighbouring properties also extend back and have rear lane access. The rear lane is characterised by varying high walls, fences and garages.

## 5.0 No. 26 Second Street

No. 26 Second Street is a single storey, face and common brick, Inter-war period dwelling with contrasting brick, timber and rendered decorative details, gabled and hipped main roof clad in terracotta tiles, secondary hipped and skillion roof clad in corrugated steel, timber and aluminium framed windows and timber doors. A lightweight wing clad in FC sheeting and a paved verandah with a modern steel awing are located at the rear of the dwelling.

The front facade has a projecting gable and an open front verandah with tessellated and decorative floor tiles and marble edging. The front projecting gable has decorative rough cast and rendered details to the gable end and is supported on paired timber posts with decorative timber brackets and details on a rendered, face and painted brick base. An iron balustrade also extends between the tapered and curved brick base. The verandah also has timber framed fixed windows on a brick base at each end and a recessed entry with timber and glass panelled door and toplight and multi-paned casement windows with toplights on a rendered sill.

The dwelling is setback from the street frontage which has a timber picket fence and gates on a rendered base. The dwelling is constructed close to the western side boundary and has a deep eastern setback. The front setback has open lawn, two concrete paths and perimeter garden beds with low shrubs and plantings. The western path extends from the street frontage to the verandah steps. Brick paving and garden beds are located along the eastern setback.

The rear yard has open lawn and a small, paved patio along the eastern side boundary. A single storey, timber framed garage clad in FC sheeting with gabled roof clad in corrugated FC sheeting is constructed to the rear, southern boundary. A carport is constructed to the garage. Both sit on a concrete slab and each have modern roller doors facing the rear lane. The carport has a parapeted flat roof clad in steel sheeting, supported on simple steel posts.



**Figure 5.1** No. 26 Second Street in context.





**Figure 5.2** The building is setback from the street frontage and has a timber picket fence and gates. Two paths extend from the street frontage.



**Figure 5.3** The front façade has a projecting gable with rendered details to the gable end and an open front verandah. The façade also retains a recessed entry and timber framed window set, timber, brick and rendered details.





**Figure 5.4** The eastern side setback, path and gate.



**Figure 5.5** The eastern façade, setback, paving and garden beds.

A number of the openings and windows have been modified, enlarged and replaced. Service elements have also been added.







**Figure 5.6** The eastern facade and setback looking toward the rear yard.



**Figure 5.7** The FC clad skillion roofed rear wing and rear verandah that has modern paving and awning.



**Figure 5.8** The rear of the house and rear garden. A skylight and roof ventilators are visible on the roof.





**Figure 5.9** The rear yard and neighbouring dwellings to the east. The rear wing of No. 24 has been extended.



**Figure 5.10** The rear of the dwellings to the west from the rear yard.

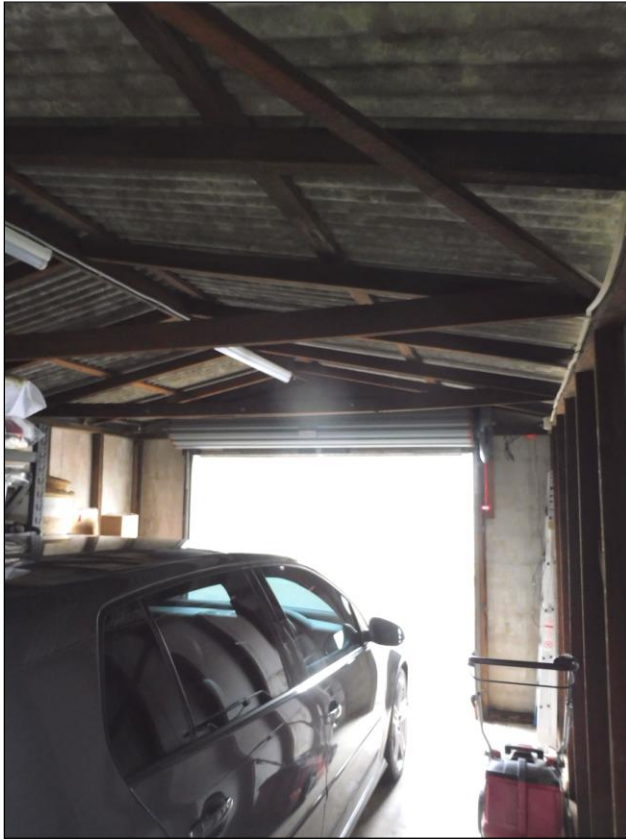


**Figure 5.11** The rear yard, garage and carport constructed to the rear lane.



**Figure 5.12** The carport which has a parapeted flat roof.





**Figure 5.13** The existing garage is a simple, lightweight structure with gabled roof.



**Figure 5.14** The carport and garage from the rear lane.



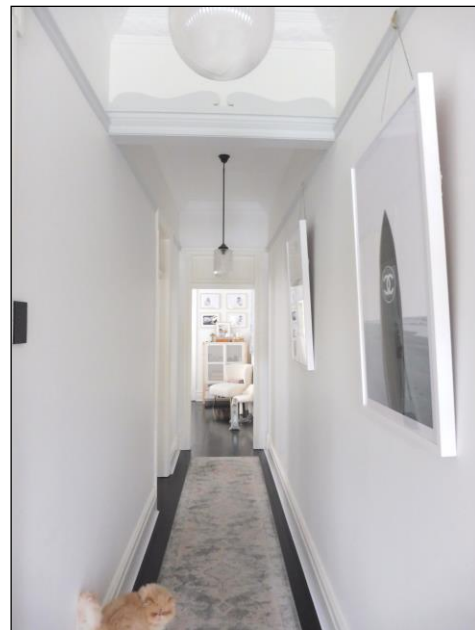
**Figure 5.15** The carport and garage (mid shot) and neighbouring walls, fences and garages.

The interior has generally been modified, however, retains a typical layout with two front (bed) rooms along the side building entry and hall that leads to the living room. A bathroom, kitchen and separate dining room and a third bedroom with laundry and WC are located at the rear.

The interior has timber floors, rendered and lightweight walls, decorative plaster and plasterboard ceilings and timber joinery, skirtings and architraves. There are no fireplaces or chimneys. The bathroom, kitchen, separate WC and rear laundry have been typically modified and upgraded and have modern and contemporary finishes, fixtures and fittings.



**Figure 5.16** The building entry and (western) side hall that accesses the two front bedrooms and extends to the living room.



**Figure 5.17** The hall retains timber floors, rendered walls and high decorative plaster ceilings and timber joinery.



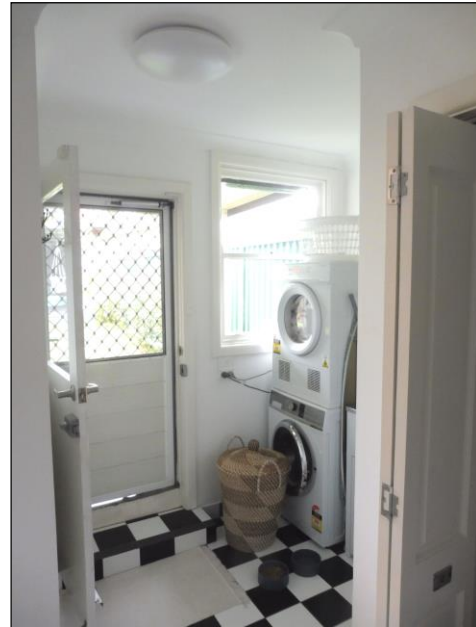
**Figure 5.18** The front bedroom retains high decorative plaster ceiling and timber details.



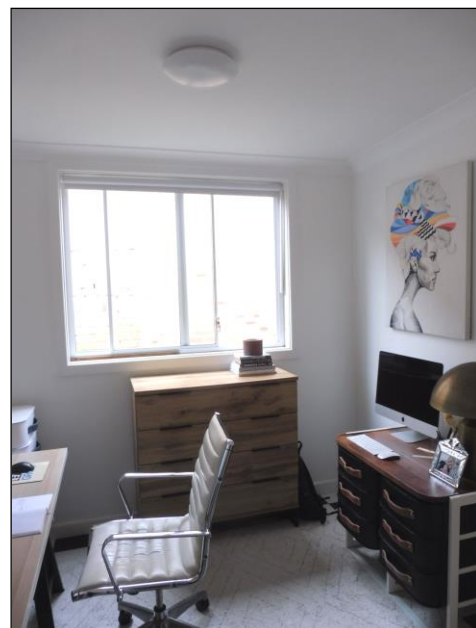
**Figure 5.19** The living room retains a high ceiling and some timber joinery, however, the ceiling and cornices have been modified and replaced and eastern window opening enlarged and new aluminium window added. Services have also been upgraded and added.



**Figure 5.20** The rear of the building has service areas which have been typically modified and have modern and contemporary finishes, fixtures and fittings. A skylight has also been added over the existing kitchen.



**Figure 5.21** A small dining room and a third bedroom/ study are also located in the rear wing and have also been modernised. The floor, ceilings and windows have been modified and replaced.





## 6.0 Summary analysis and assessment

No. 26 Second Street has not been identified as a heritage item, however, is located in the Ashbury Heritage Conservation Area. There are items in the street, however, these are located to the north east and separated from the site.

### Context

The site is located on the southern side of Second Street which is a wide, two-way street with grassed verges, street trees and plantings and car parking on both sides. The properties on the southern side in this section of the street also extend back and have rear lane access.

The built context in this section of the street comprises of a mix of one and two storey, mostly detached dwellings. The dwellings largely date from the early 20<sup>th</sup>/ Inter-war period of the development. Some modified/ replacement late 20<sup>th</sup> century period dwellings and semi-detached dwellings are also located in this section of the street.

The street is part of c. 1914 subdivision that created First, Second, Third, Fourth and Fifth Streets and the drainage reserve that is now the rear lane. It would appear that land speculators purchased multiple sites and re-subdivided the lots to create some narrower properties.

All of the lots in the subdivision were subject to a building covenant which dictated the front setbacks, materials and a minimal cost to ensure quality and consistent dwellings. As a result the street has uniform front setbacks. Dwellings such as the subject building constructed on the narrower subdivided lots were typically constructed to one side boundary with deep setback from the other.

Most of the early dwellings in this section of the street retain a sense of their early form, early fabric and details, however, some modifications such as painting and replacement of building fabric, upgrade of front façade details and windows and doors and front fencing is evident. A number of dwellings (Nos. 8, 10, 29, 30 and 32) also have upper storey additions. The properties have varying front fence treatments and are enhanced by front garden settings, the street and verge proportions and street trees and plantings.

The Ashbury Heritage Conservation Area is significant for its street layout and early 20<sup>th</sup> century subdivision pattern, regular residential lots and generally consistent, early 20<sup>th</sup> century, (Federation, Californian Bungalow and Inter-war) housing styles and their garden settings. The area is also recognised for its extensive street tree plantings.

### The site

The site is part of a number of lots purchased by a speculator/ tradesman in 1916 and appears to have been constructed, possibly by same, sometime between 1917 and 1920.

The 1943 aerial shows what appears to be the early form of the house and indicates that the dwelling, its primary form and details including main gabled and hipped roof, secondary roof and a rear skillion section remain. The rear, however, has been typically modified and appears to have been extended. A lightweight garage and carport have been constructed since that time on the rear lane.

Inspection confirms that details such as the front fencing, elements in the front and side setbacks, eastern facade and interior have been replaced and upgraded. However, a front garden setting, pedestrian access, open verandah with details of the front façade including the projecting, street facing gable and associated rendered, timber and brick details, the verandah

steps and floor and associated tiled and marble finish, pattern of openings, rendered sill, brick arches and original front windows and entry remains.

Internally the layout and early spatial character of the front of the dwelling also remains, with timber floors, joinery and some high, decorative plaster ceilings. However, floors, ceilings and details in the central and rear of the dwelling have been upgraded and replaced. Service areas have also been typically upgraded and have modern and contemporary finishes, fixtures and fittings.

No. 26 Second Street is a representative example of an Inter-war period, detached dwelling. Despite some modifications, alterations and additions to the interior and rear, the building retains its primary external form, Inter-war period character and details including face and common brick façades, contrasting brick, timber and rendered details, main gabled and hipped roof form with street facing gable and terracotta tiled cladding, open front verandah and details of the front facade.

The building also retains its front and eastern side setbacks and is enhanced by a small front garden area and appropriate, low fencing. Overall the building is considered to be a contributory item and makes a positive contribution to the Second Street streetscape and area.

The form and details that make a contribution to the area are largely concentrated at the front of the building.

The dwelling has a lower hipped roof section and a lightweight, FC clad skillion roofed section which are secondary and utilitarian. The mid and rear sections have undergone some change including replacement of internal linings and finishes, enlargement and replacement of windows with aluminium framed assemblies. The rear is simple and makes no particular visual contribution to the streetscape, rear lane or area.

The site is also enhanced by a rear garden with some trees and plantings, paving also a garage and carport which appear to relate to the later development of the site. The existing garage and carport are simple additions that form part of the utilitarian character of the lane. The use and relationship with the lane is significant, however, the garage and carport make no particular contribution to the character of the area.

The dwelling has undergone some typical internal modifications. However, the front of the building also appears to retain the early layout with rooms accessed from the side hall. The internal finishes and details are not unusual or rare.

The existing dwelling appears to be the first constructed on the site, however, the archaeological potential is considered to be low and disturbed by the residential subdivision and development of the sites and alterations additions to the building and site.

The existing building incorporates standard construction techniques, materials and details. Some timber floors, ceilings and roof claddings have generally been upgraded replaced and modified and have reduced the potential for relics in floor and ceiling cavities and overall would not reveal any new information that is not available elsewhere.

The building is of no particular social significance as a private dwelling.

## 7.0 Description of the proposal

It is currently proposed to undertake alterations and additions to the existing dwelling and site as illustrated in the architectural drawings prepared by Design Studio 407.

The primary form and details of the front of the existing dwelling, particularly the face brick western, northern (front) and north eastern brick facades, contrasting brick, timber and rendered details, front projecting gable, open front verandah and associated details including pattern of openings at the front of the building, recessed entry and front windows will be retained. The associated front roof form and terracotta tiled roof cladding will also remain.

The front garden setback and existing front fence, north western path extending to the verandah steps and building entry with front lawn and garden beds will also be retained and improved.

The building entry and entry hall will be retained. The proposed works can be summarised as follows:

#### House

- opening up and removal of the existing Bedroom 2 and lounge room and removal of the south eastern façade, lightweight rear roof, FC clad wing and awning. The western brick façade and north eastern brick wall and existing Bedroom 2 window will be retained. The timber floor and details and high plaster ceiling in the entry hall and Bedroom 1 will also be retained; and
- construction of a new two storey addition with new brick and lightweight walls to create a lounge room, linen, laundry, bathroom, butler's pantry and open plan kitchen, dining and living room on the ground floor and three bedrooms, one with walk-in-robe and ensuite, home office and bathroom about the stair and central landing and hall on the first floor.

#### Exterior and rear garden

- removal of the north western concrete path in the front setback and extension of the lawn around the front, north eastern corner of the dwelling. The fencing will be retained;
- removal of the existing side gate and fence, brick paving, garden beds, low trees and shrubs in the eastern setback and provision of a new gate and fence and paving. A water tank and bin area is also proposed behind the new gate;
- removal of the existing rear paved areas and rear awning;
- removal of the existing concrete slab, carport and garage; and
- addition of a new paved alfresco area with an awning, inground swimming pool and new brick garage along the south eastern boundary and to the rear lane boundary. New landscaping, steps and lawn areas are also proposed.

Overall the works are intended to improve the accommodation, use and amenity of the existing dwelling and site for ongoing residential and contemporary, family use.

The rear addition has been setback. The main roof form has been largely retained. The addition also proposes to make use of the eastern setback to provide improved amenity on the relatively narrow site. The existing brick walls and details will remain face brick.

The proposed addition is contemporary and incorporates concrete slab floors, brick and lightweight construction with aluminium framed windows and doors and sheeted metal wall and roof claddings.

The new garage is also proposed to be constructed in brick on a concrete slab with walls and gabled roof also clad metal sheeting. A gabled and parapeted wall is proposed along the rear, with roller doors, however, the garage is setback from the western side boundary with open lawn proposed between.

The existing colours at the front of the dwelling and fence are proposed to be retained with a relatively neutral and recessive (light and dark grey) colours proposed for the new works and additions which is consistent with the other new developments in the area.

## 8.0 Heritage Impact Assessment

The relevant clauses of Canterbury planning documents and guideline document on the preparation of Statement of Heritage Impact reports have been considered below.

### 8.1 Canterbury LEP 2012, Draft Consolidated LEP & DCP 2012

In accordance clause **5.10 Heritage conservation** of the CLEP 2012 & Draft CLEP:

#### **(4) Effect of proposed development on heritage significance**

*The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).*

#### **(5) Heritage assessment**

*The consent authority may, before granting consent to any development:*

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*

*require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.*

The Ashbury Heritage Conservation Area is significant for its street layout and early 20<sup>th</sup> century subdivision pattern, regular residential lots and generally consistent, early 20<sup>th</sup> century, (Federation, Californian Bungalow and Inter-war) housing styles and their garden settings. The area is also recognised for its extensive street tree plantings.

The proposed alterations and additions are acceptable from a heritage perspective as the existing subdivision pattern and primary setbacks, form and Inter-war period character and details of the dwelling which contribute to the relatively consistent streetscape pattern and significance of the area will be retained and able to be interpreted.

The proposed alterations and additions have been amended following pre-DA advice. The overall height of the addition has been reduced and the addition has also been setback. Much of the primary roof form and particularly the street facing gable and associated details, front hip, main ridge and terracotta tiled roof cladding have been retained and will continue to be in the foreground, visible and contribute the scale and character of the streetscape and area.

The extension into the eastern setback is proposed to improve internal spaces and layout of the existing narrow building. The extension is set well back from the street frontage. The front and north eastern side facades and setbacks which matches and contributes to the streetscape pattern will be retained and enhanced by the proposed extension of the lawn around the north eastern corner of the dwelling. The front gable and verandah details will also remain and remain visually dominant. The existing western building line has also been retained with the setback and open access along the eastern boundary to the rear yard.



The proposed internal alterations and works to the rear yard will have no adverse impact on the primary character of the building or its contribution to the streetscape or area.

The interior and rear of the building and site have previously undergone some modifications and changes. The building entry and a sense of the side hall and two front rooms has been retained. Whilst an upper storey has been proposed, the rear addition has been reduced and incorporates a complementary hipped and gabled roof form. The lightweight construction for the upper level and use of neutral and recessive colours also reduce the apparent bulk and scale of the addition. The contemporary details and colours do not seek to mimic or detract from the historic fabric, the retained face brick facades, brick, timber and rendered details and will also highlight the retained primary roof form and terracotta roof cladding.

The proposed addition to the dwelling has also been setback from the rear and side boundaries. The pool and proposed landscaping will have no adverse impact on the character or significance of the area. An open rear, landscaped garden and private open space and access to and from the rear lane has significantly been retained.

The proposed garage and rear boundary treatment is consistent with the scale and character of the rear lane. The proposed works will improve the appearance and condition of the rear boundary and amenity of the site.

Any potential adverse impacts of the proposed alterations and additions are also reduced by the retention of the wide street and verge proportions, street trees and planting and nature of the existing built context along Second Street and rear lane.

In relation to **B8.4 Ashbury Heritage Conservation Area** of the Canterbury DCP 2012.

The primary setbacks, form and details of the existing dwelling which contribute to the Inter-war period character of the building and area, streetscape scale and pattern of development have been retained with a front and rear garden setting in accordance with the general objectives of the area.

#### B8.4.2 Location

Controls	Response
<p><i>C1 A Streetscape Character Analysis is to be submitted as part of any development application for:</i></p> <p><i>(a) New dwellings; and</i></p> <p><i>(b) Alterations to the front elevation and/or a second storey addition to existing dwellings.</i></p>	<p>The above analysis shows that the primary form and details that relate to the existing street context and character have been retained.</p> <p>The proposed second storey addition has been setback and reduced in size and height. The primary form and Inter-war period details of the existing dwelling will continue to be visually dominant and contribute the streetscape and area.</p> <p>The dwelling will also continue to be enhanced by an appropriate front fence and front garden setting also wide street verge. An open rear garden and a low scale along the rear lane have also been retained and will be enhanced by the proposed works.</p>

### B8.4.3 Building Height

Controls		Response
C1	<i>The maximum height is identified in the LEP Height of Buildings Map and is 8.5m. A maximum of two (2) storeys applies to the Ashbury area.</i>	A two storey height is proposed at the rear of the dwelling and is wholly below and complies with the allowable height.
C2	<i>The maximum height is only appropriate on the part of the building that has the required setbacks of 1m from one side boundary and 3m from the other side boundary.</i>	
C3	<i>The setbacks for the maximum building height may be varied on allotments having a width of 12.2m or less, or where the original dwelling is located within 3m of the side setback. The overall minimum side setback is to be 1m.</i>	The site has a relatively narrow width. The existing western building line/ façade has been retained. The deeper eastern setback has also been partially retained. The addition has also been setback from the eastern boundary.
C4	<i>Minimise the height and bulk of first floor extensions – a minimum floor to ceiling height of 2.4m applies on the first floor to achieve this. In some circumstances, it may be appropriate to introduce a raked ceiling.</i>	The height and bulk of the addition has been reduced and minimised.
C5	<i>All or part of a first floor extension is to be accommodated within the roof space (if possible).</i>	The narrowness and form of the existing building and roof is not conducive to an attic style upper storey.
C6	<i>On sites where the land slopes downhill away from the street, use the slope of the land and place floors at a lower level to minimise building bulk.</i>	The site is relatively flat, however, the bulk and scale have been reduced and addition has been setback, so that the existing scale and form are able to be appreciated.
C7	<i>The maximum height of fill is 300mm above existing ground level, at any point.</i>	The existing site and foundation levels are proposed to be essentially retained.
C8	<i>A foundation area of up to 1m in height is acceptable</i>	

### B8.4.4 Setback

#### Front setback

C1	<i>In the street elevation of new dwellings, a minimum of 50% of the building is to be built to the predominant building line, and the remainder of the dwelling may be behind the predominant building line. If a street has no predominant building line, build to a building line established by nearby buildings.</i>	The primary external form and details of the existing dwelling that contribute to the streetscape and area are proposed to be retained with the existing front setback and details.
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**B8.4.4 Setback** continued

<b>Controls</b>		<b>Response</b>
C2	<i>On streets with a staggered building alignment, the streetscape pattern is to be reinforced by maintaining the typical angle and distance from the front boundary</i>	The existing street pattern will be retained and reinforced by the proposed improvement of the front garden area. The front setbacks will continue to match and align with the neighbouring dwellings.
C3	<i>The front façade is to be oriented towards the street boundary.</i>	The front façade will continue to be orientated towards the street boundary.
C4	<i>Any additions are to be located on or behind the predominant building line.</i>	The proposed additions have been set well back from the front building line.
C5	<i>Any carports are to be located a minimum of 1 m behind the predominant building line.</i>	Car accommodation will remain at the rear of the site, along the rear lane.

**Side Setback**

C1	<i>The established characteristic pattern of side setbacks in the street is to be maintained through providing a narrow side setback of 1m minimum and a wider side setback of 3m minimum</i>	The front hipped roof form and ridges with the front gabled feature and terracotta roof cladding have been retained.
C2	<i>The wider side setback for a minimum distance of 6.5m from the predominant front building line is to be maintained, after this the side setback for a single storey may be reduced to 1m.</i>	A wider setback has been retained at the front of the building. The addition is proposed to make use of the deeper eastern setback to improve the internal spatial character. A setback has also been maintained along the eastern side.
C3	<i>On sites with a street frontage less than 12.2m, buildings are to follow the predominant pattern of side setbacks for that street</i>	The front setbacks and predominant streetscape pattern has been retained.
C4	<i>Side setbacks are to be free of structures, except for minor encroachments that may include pergolas and carports.</i>	Primary side setbacks have been retained and will remain free of structures.

**B8.4.5 Building Expression and Streetscape**

C1	<i>Alterations and additions to the existing building are to maintain the appearance of a single storey house from the street.</i>	The single storey scale and appearance of the front of the dwelling has been retained and will remain visible from the street.
C2	<i>The design of any alteration and additions visible from the street are to maintain the front or main section of buildings (this is below the main roof form).</i>	The main section of the building also the existing western wall, front and north eastern facades and primary section of the roof have been retained.

**B8.4.5 Building Expression and Streetscape** continued

Relevant controls		Response
C3	<p><i>Acceptable two storey development can be achieved through:</i></p> <p><i>(a) Locating rooms within the roof space and using dormers and skylights that are subservient to the main roof form (where visible from the street) to provide natural light and ventilation;</i></p> <p><i>(b) Locating the first level to the rear of the building;</i></p> <p><i>(c) Locating the first level behind the hipped or gabled roof area of the single storey part of the house and not interrupting the front and side roof planes.</i></p> <p><i>(d) Minimising the visibility of two storey walls from the street, by locating them at the rear; and</i></p> <p><i>(e) Using transitional roofing to disguise the second storey (transitional roofing is roofing at an intermediate pitch between old and new roof pitches).</i></p>	<p>The proposed addition to the dwelling has been located to the rear of the dwelling and behind the main gabled and hipped roof form.</p> <p>The visibility of the two storey walls has been reduced by the setback, retention of side brick walls and reduction of the overall form and height.</p>
C4	No control	
C5	<p><i>Architectural details are not to be replicated but use of similar materials and colour, and continuation of the horizontal and vertical lines and proportions of the characteristic architectural houses and their elements, is encouraged.</i></p>	<p>A contemporary addition with simple form and vertical proportions that reflect the vertical proportions and details of the existing narrow building and a complementary, characteristic roof form is also proposed.</p>
C10	<p><i>New roofing should be compatible with the existing roof.</i></p>	<p>The new roofing reflects the form and roof claddings in the area.</p>

**B8.4.7 Roofs and Dormers**

C1	<p><i>Roofs that are visible from the street must be hipped or gabled.</i></p>	<p>The proposed new roofs are hipped and gabled.</p>
C2	<p><i>New development is to follow the roof pitch that is predominant on the characteristic houses in the street.</i></p>	<p>The roof pitch matches the existing roof pitch.</p>
C3	<p><i>The minimum distance between eave/gutter and the side boundary is 675mm. This can be reduced, based on merit, only where the existing eave/gutter is less than 675mm.</i></p>	<p>The setback complies.</p>
C4	<p><i>A maximum of one single dormer window in the roof ....</i></p>	<p>No dormers are proposed.</p>



#### B8.4.8 Verandahs, Porches and Balconies

The existing front verandah is proposed to be retained with no change and will remain open.

No balconies are proposed. A rear alfresco and awning are proposed in the rear yard, however, will have no adverse impact on the area. It is located in the rear yard, the awning is low scale and also setback from the rear site boundary.

#### B8.4.9 Windows and Doors

Relevant controls		Response
C1	<i>Provide a greater proportion of wall to windows (solid to void) in street facades.</i>	A greater proportion of wall to windows (solid to void) is proposed.
C2	<i>Use timber framed windows and doors that are visible from the street.</i>	New deep section aluminium framed windows are proposed for the additions. Those that are largely located at the rear and are set well back and will not visually detract.
C3	<i>Reflect the windowsill and head heights of windows in the characteristic houses along the street by continuing the horizontal lines.</i>	The existing front timber framed windows, existing front door and north eastern window will be retained.
C4	<i>Original windows and doors on front facades are to be retained.</i>	
C5	<i>The proportion of new windows and doors is to be in keeping with the existing house - generally bungalow windows have horizontal proportions, composed of three or four windows with vertical proportions. Federation dwellings have more vertically or squarely proportioned window openings.</i>	Vertically proposed windows are largely proposed. Some strip and larger window and doors are proposed, however, these are located at the rear and will not be highly visible.
C6	<i>Do not replicate leadlight windows, but reinstate traditional windows where they have been replaced by aluminium windows out of character with the existing house.</i>	No replication or reinstatement is proposed.
C7	<i>Mount security devices internally (for example internal security louvres)</i>	Security and service elements will be located appropriately and have been screened from view from the street.
C8	<i>Do not use roller shutters and externally mounted metal security bars on elevations visible from the street (except facades facing rear laneways)</i>	No security devices or externally mounted details are proposed on elevations visible from the street.

**B8.4.10 Materials, Finishes and Colour**

Relevant controls		Response
C1	<i>Use external building materials, finishes and colours, in particular for street facades and roofs that are compatible with those of characteristic houses and the street.</i>	The proposed external building materials, finishes and colours are intended to read as new work and highlight and not mimic or detract from the existing characteristic materials and details of the dwelling and neighbours.
C2	<i>Add variety and visual interest with the type, colour and design of building materials and fenestration.</i>	The additions add variety and visual interest, however, also incorporate complementary fabric and details
C4	<i>Recommended external materials and finishes include face brick, stone, timber, and fibre cement (for gable ends and infill panels).</i>	Face brick wall, timber and rendered details at the front and sides of the building have been retained.
C5	<i>Do not render existing buildings or paint existing brickwork.</i>	The retained brick facades will remain face brick and will not be painted.
C7	<i>Use roof tiles that are similar to the colour of roof tiles that are predominant in the street. Do not use black or grey roof tiles.</i>	Lightweight, metal cladding is proposed for the addition and garage and reflects the existing lightweight claddings over the rear and roof of the house and other dwellings in the area.
C8	<i>Preferred roof materials include terracotta and concrete tiles.</i>	
C9	<i>Lightweight roofing materials such as corrugated iron are suitable for garages and carports and lean-to additions to the rear.</i>	
C10	<i>Use bricks that are uniform in colour and not mottled. Red and darker coloured bricks (dark brown and liver colours) are preferred. Face concrete block work is not acceptable</i>	NA
C11	<i>Do not express concrete slabs on the external face of the building.</i>	No concrete slabs will be expressed. Lightweight construction is proposed for the upper level.
C12	<i>Avoid bright colours, including white or off-white and grey, for large surface areas. Brighter and lighter colours are generally only appropriate for architectural details and elements.</i>	The existing decorative and architectural details are concentrated at the front of the dwelling and will be retained and will continue to be painted and highlighted in light and appropriate colours. Darker, recessive colours are proposed for the main walls and details of the addition and rear garage.
C13	<i>Use colours to enhance architectural elements and detail and do not obscure them.</i>	

**B8.4.11 Driveways, Garages and Carports**

The rear lane will continue to be used for vehicular access, The existing crossover will be retained and improved.

The replacement of the existing garage and carport will have no adverse impact on the lane or area. The existing structures date from a later period of the site development and incorporate modern fabric and details.

The new structure is low scale and incorporates an appropriate gabled roof, wall and openings that are consistent with the scale and mixed, utilitarian character of the lane.

Anyway potential impacts are also reduced by the retention an open rear yard, improved landscape treatment with soft, lawn areas and plantings.

#### **B8.4.12 Walls and Fences**

The existing front and side walls and fences are proposed to be retained.

The proposed new garage, fence and opening along the rear lane are consistent with the existing context and will have no adverse impact on the area.

#### **B8.4.13 Open Space and Landscaping**

The existing front garden setback will be retained and improved by the removal of some hard paving and extension of the soft, lawn. The low, front fencing with perimeter garden beds will be retained and continue to enhance the site and allow views to and from the building.

An open rear garden and private open space has also been retained and will be improved. The proposed two storey addition provides additional bedroom accommodation and improved living areas without compromising the available open space and rear yard areas on the narrow site.

#### **B8.4.14 Outbuildings**

No sheds or additional outbuildings are proposed. An awning is proposed over the new alfresco. The structure is open, low scale and lightweight. The structure is also setback from the street and rear lane, will not be highly visible and will have no adverse impact on the area.

#### **B8.4.15 Demolition**

It is proposed to demolish part of the existing house, garage and carport. However, the primary form and details that contribute to the character of the Second Street streetscape have been retained. The site boundaries and primary setbacks have also been retained and the site will be able to be interpreted as part of the Inter-war period of development of the area.

## **8.2 Heritage NSW criteria**

The relevant questions from the guideline document on the preparation of Statement of Heritage Impact reports have been considered in detail below.

### ***How is the new impact of the new development on the heritage significance of the contributory item and items in the area to be minimised?***

The proposed works are intended to improve the accommodation, use and amenity of the existing dwelling and site for ongoing residential and family use.

Any potential heritage impacts are minimised in the following ways:

- by the retention of the existing subdivision pattern and site boundaries;
- by the retention and no impact on the existing street elements, street proportions, grassed verges, street trees and plantings;
- by the retention of the existing primary front and side setbacks and existing streetscape pattern along Second Street;
- by the retention and improvement of a front garden setting, lawn and front garden bed and the primary pedestrian access to the site;
- by the retention of an appropriate front fence and low side returns;
- by the retention of the single storey scale at the front of the building, primary form and Inter-war period character and details of the existing dwelling;
- by the retention of significant and contributory details including face brick walls, brick, timber and rendered details, details of the front façade including the open front verandah and associated details including the street facing gable, pattern of openings on the front facades and original windows and recessed entry, main gabled and hipped roof and associated terracotta roof tiles;
- by the retention of the existing building entry and a sense of the internal layout with side hall, two front rooms and spatial character;
- by the retention of the western and north eastern building lines and setback of the addition from the front and behind the primary roof form and ridges;
- by the setback of the addition from the eastern side boundary and retention of the access along the eastern side boundary;
- by the reduction of the height of the addition;
- by the simple form of the addition and complementary hipped and gabled roof form;
- by the use of architectural details, materials and colours that reflect and are complimentary to the building and area but also allow the historic building fabric to remain discernible and able to be interpreted;
- by the retention of the existing vehicular crossing and use of the rear lane for vehicular access;
- by the provision of a low scale garage that incorporates compatible form, fabric and details that are consistent with the existing scale and character of the rear lane;
- by the retention of rear setbacks, a rear garden setting and private open space; and
- by the improvement of the rear yard and garden area.

***How does the new development affect views to, and from the item? Will the public and users of the item, still be able to view and appreciate its significance?***

The proposed alterations and additions to the existing dwelling are confined to the existing site and set back from the street and rear lane. The additions will be visible, however, will not affect any significant views along Second Street or rear lane.

The front, primary setbacks, form and details of the existing dwelling, its single storey scale and Inter-war period fabric and character will be retained and will continue to be in the foreground and visually prominent and consistent with the neighbouring dwellings. The retained main wing, brick walls, primary roof and details will continue to be enhanced by an appropriate front fence and front garden setting which will also be retained and improved.

The proposed garage and rear wall is also low scale. The garage will read as a secondary, utilitarian structure that is consistent with other development along the lane. An open rear garden has also been retained.

As such, it is considered that the building users and public will be able to view and appreciate the early 20<sup>th</sup> century subdivision pattern and Inter-war built character of the buildings, streetscape and area.



***Is the development sited on any known, or potentially significant archaeological deposits?***

The development is not sited on any known deposits and archaeological potential of the site is considered to be low and disturbed by the residential subdivision and development of the site and neighbouring sites and previous alterations and additions.

The existing building and additions incorporate typical construction materials and techniques and fabric that is not unusual or rare. The building has previously undergone some modification and replacement of fabric and existing garage and carport are later alterations and additions and overall are not likely to reveal any new information which is not available elsewhere.

**9.0 Conclusion and recommendations**

In summary, the proposed alterations and additions to No. 26 Second Street, Ashbury, are considered acceptable from a heritage point of view.

The proposed works are intended to improve the accommodation, use and amenity of the existing dwelling and site for ongoing residential and contemporary family use.

The existing site boundaries and subdivision pattern and primary elements which make the greater contribution to the significance and character of the conservation area including the primary front and north eastern side setbacks, single storey scale, Inter-war period fabric and details of the main part of the existing dwelling also the front garden setting will be retained and able to be interpreted as part of the early 20<sup>th</sup> century development of the area.

The interior and rear of the dwelling and site have previously undergone some changes, modifications and additions.

The proposed alterations and additions have been amended following pre-DA advice. The addition is proposed to extend into the eastern setback, however, the proposed first floor has been setback from the front of the dwelling and overall height has been reduced.

The eastern extension is intended to improve the internal spaces and layout of the existing narrow building. The extension is set well back from the street frontage. The front and north eastern side facades and setbacks which match and contribute to the streetscape pattern will be retained and enhanced by the proposed improvements to the front setback.

The main roof ridge, front gable and verandah details will be highlighted and remain visually dominant. The existing western building line and a setback and open access along the eastern boundary to the rear yard have also been retained.

The proposed addition is intended to read as a contemporary addition that does not seek to mimic or detract from the historic building character or streetscape.

The addition is setback, behind the primary form and details of the existing dwelling and incorporates simple and compatible form, lightweight materials, colours and details which reflect details and proportions present in the area and also reduce the visual bulk and scale.

The proposed new garage and rear yard improvements including the proposed swimming pool will have no adverse impact on the Second Street streetscape, rear lane or conservation area. The existing relationship and access from the rear lane and vehicular access will be retained. The new garage and rear fence is consistent with the scale and character of the lane. An open rear garden and private space will significantly be retained and improved.

Any potential adverse impacts are also reduced by the retention of the low front fencing, front and north eastern side garden setting, street and verge proportions, street and garden trees and plantings which will continue to enhance and allow views to and from the building and continued appreciation of the existing streetscape character.

On this basis, Council should have no hesitation in approving the proposed works on heritage grounds.